

PATRIOT DRIVE

33' x 25'
Drive

4' Sidewalk

Door
Stoop

21'-4" x 6'
Porch

10' X 12'
Patio

2503 Patriot
Lindberg





BILL BRECKS CONSTRUCTION
 2503 PATRIOT DRIVE

PHONE:
 FAX:

Mead Lumber

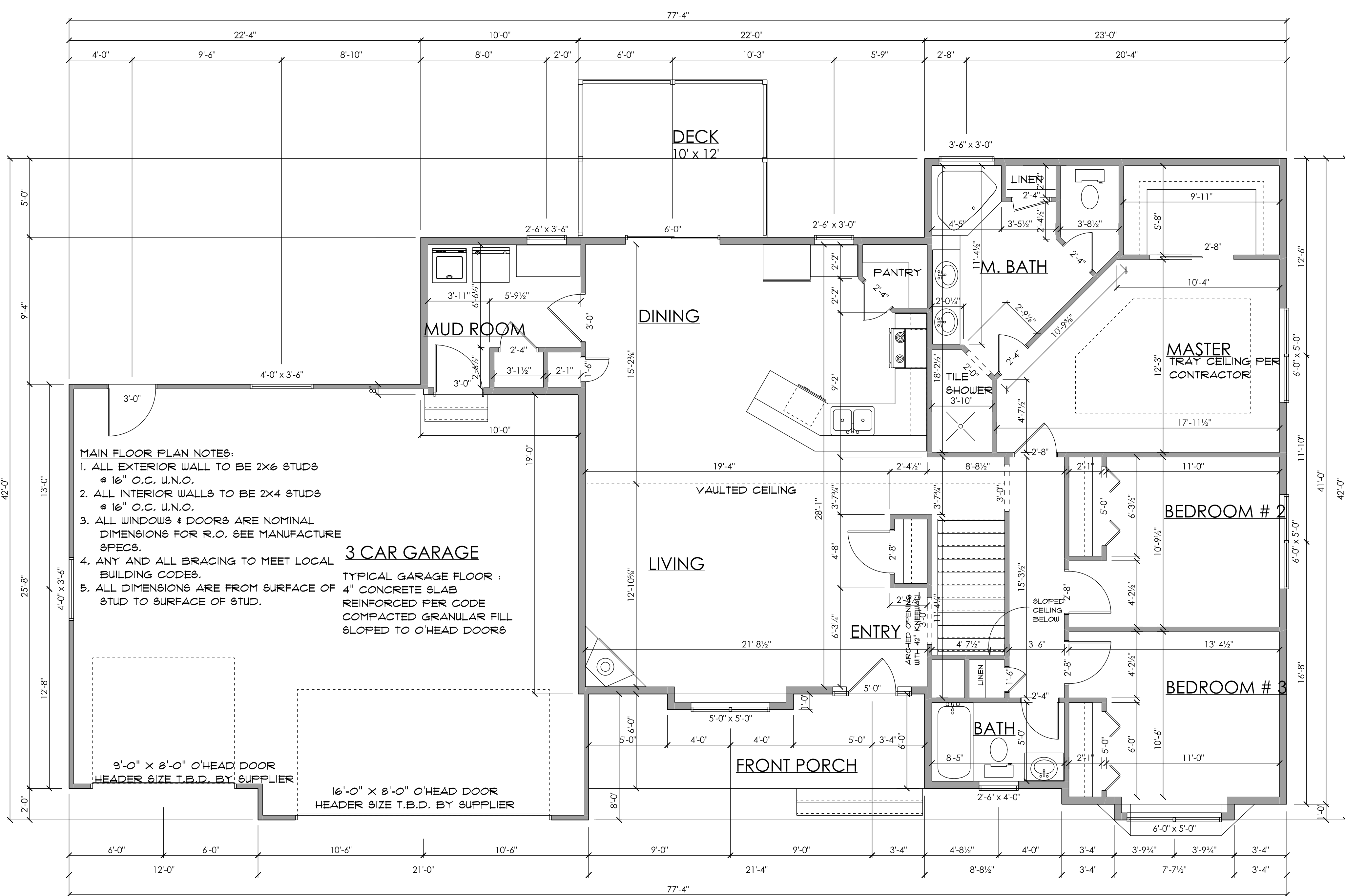
1440 W. 56th STREET
 KEARNEY, NEBRASKA
 PHONE: 308-236-9177 FAX: 308-236-9178

SCALE: As Noted

DRAWN BY: Paul Christensen

DATE: Tuesday, June 23, 2020

PAGE:



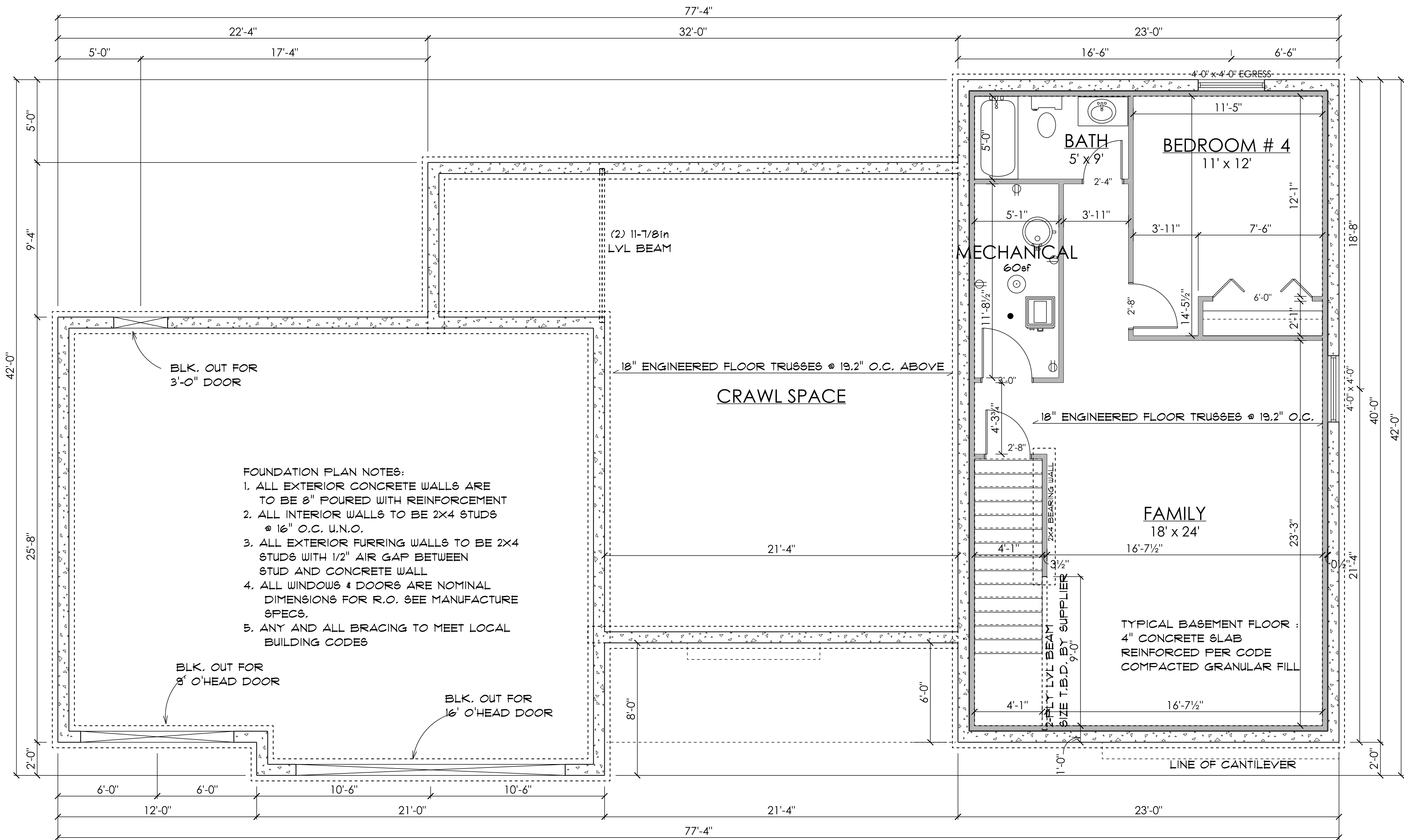
Main Floor Area | 1673 sq ft.
 Garage Area | 820 sq ft.

A3. MAIN FLOOR (2)
 SCALE: 1/4" = 1'-0"

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- FOUNDATION PLAN NOTES:
1. ALL EXTERIOR CONCRETE WALLS ARE TO BE 8" POURED WITH REINFORCEMENT
 2. ALL INTERIOR WALLS TO BE 2X4 STUDS @ 16" O.C. U.N.O.
 3. ALL EXTERIOR FURRING WALLS TO BE 2X4 STUDS WITH 1/2" AIR GAP BETWEEN STUD AND CONCRETE WALL
 4. ALL WINDOWS & DOORS ARE NOMINAL DIMENSIONS FOR R.O. SEE MANUFACTURE SPECS.
 5. ANY AND ALL BRACING TO MEET LOCAL BUILDING CODES

Basement Area | 768 sq ft.

A2. Foundation
SCALE: 1/4" = 1'-0"

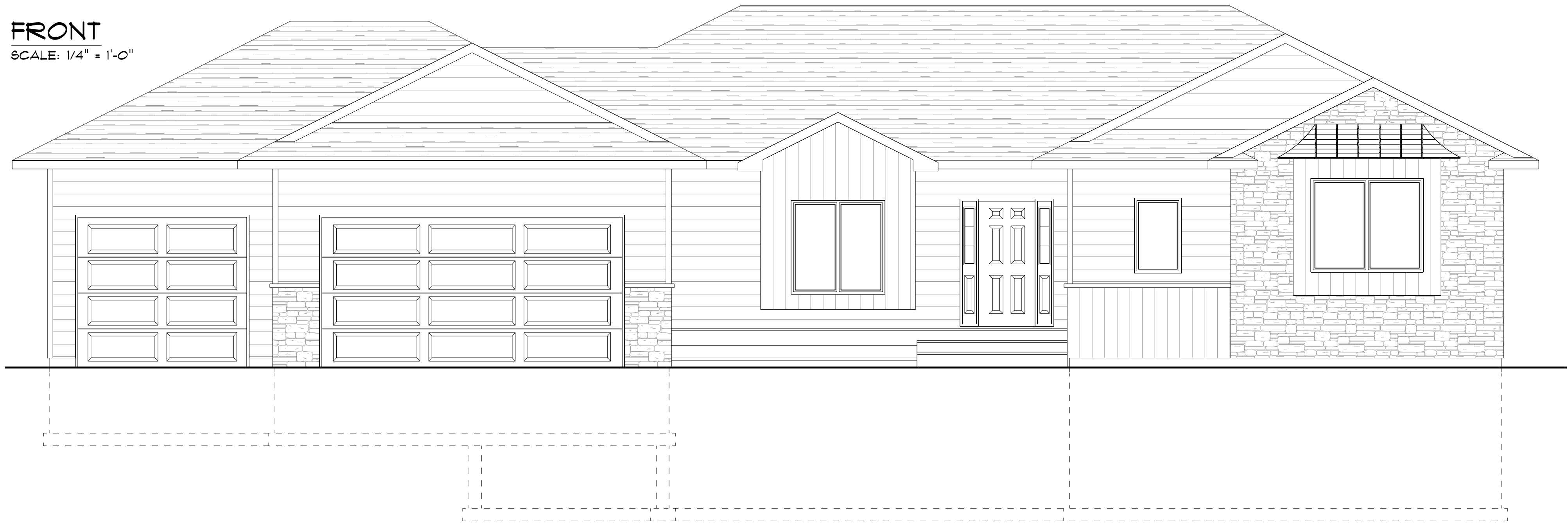
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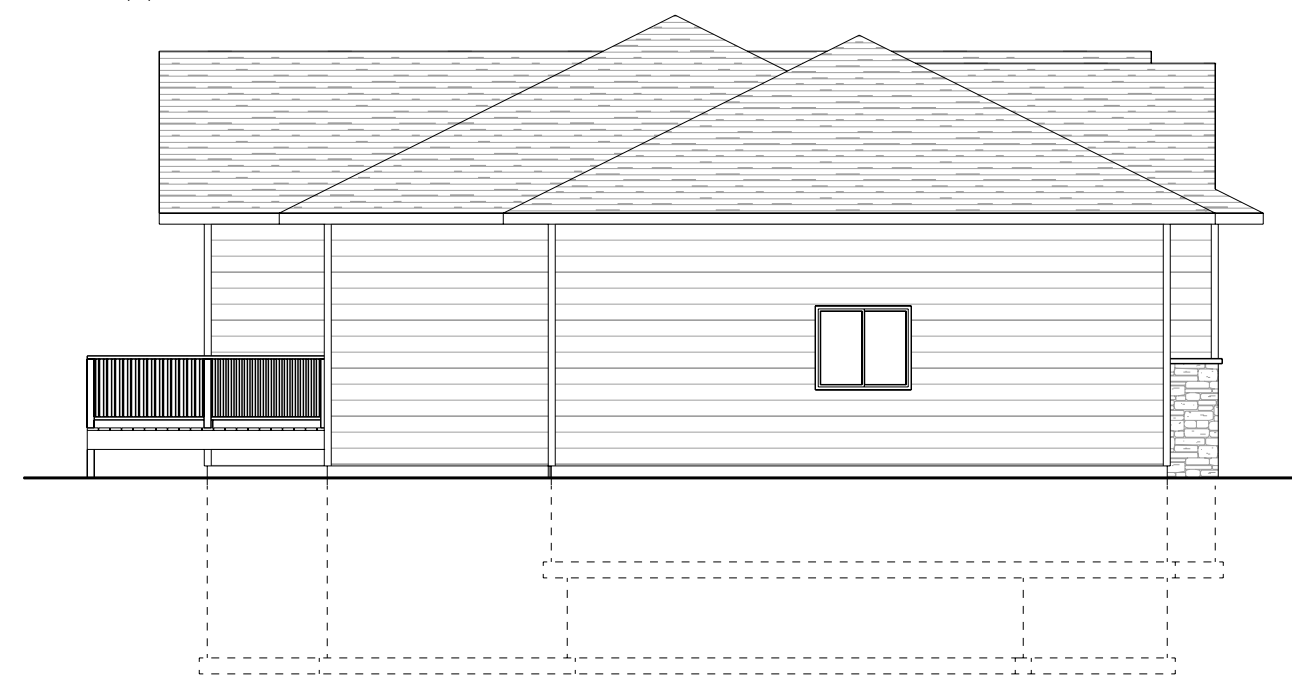
FRONT

SCALE: 1/4" = 1'-0"



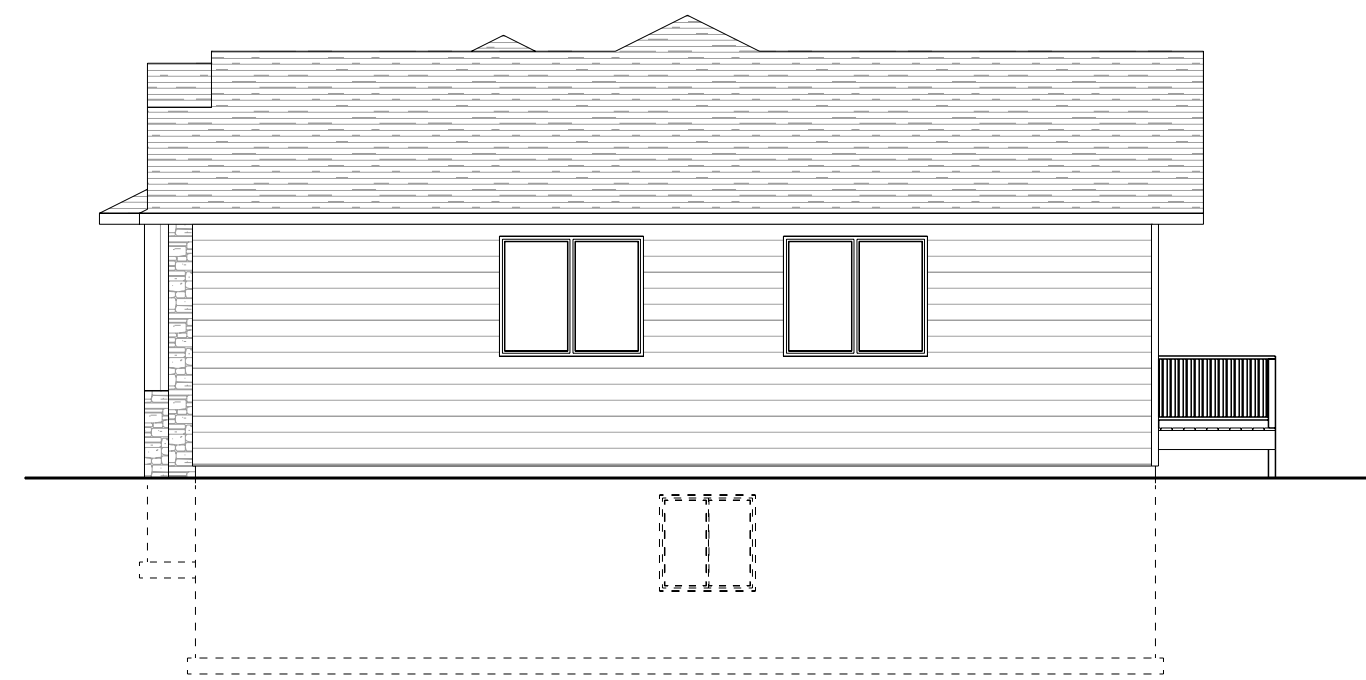
LEFT

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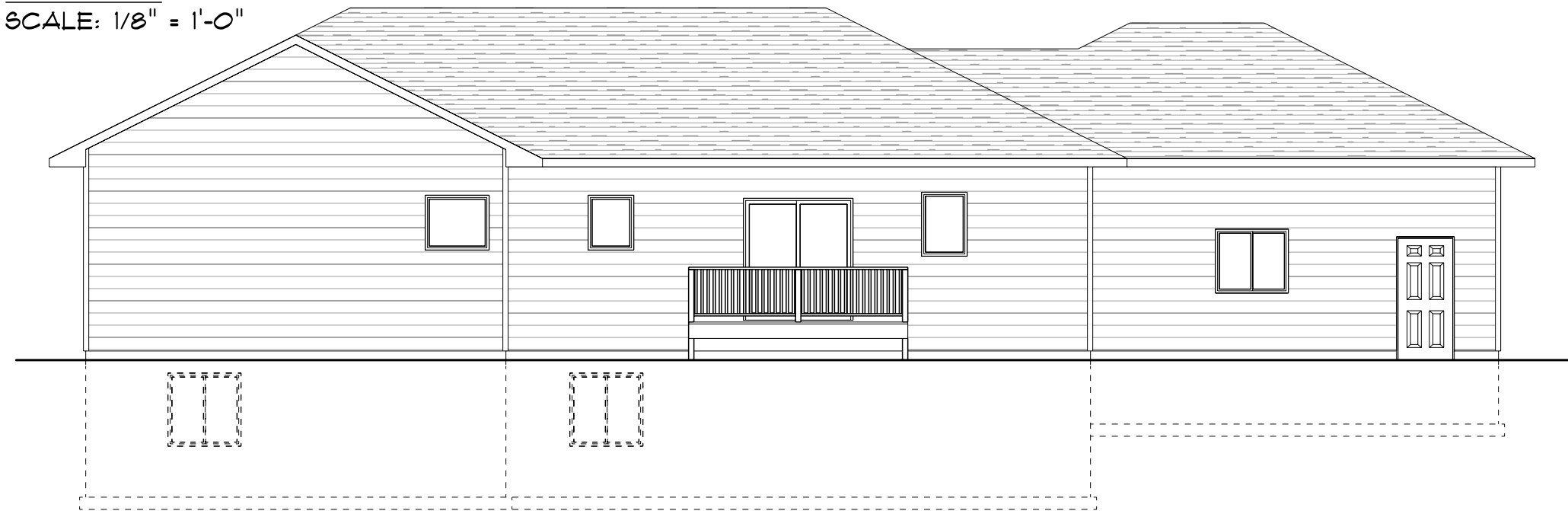
RIGHT

SCALE: 1/8" = 1'-0"

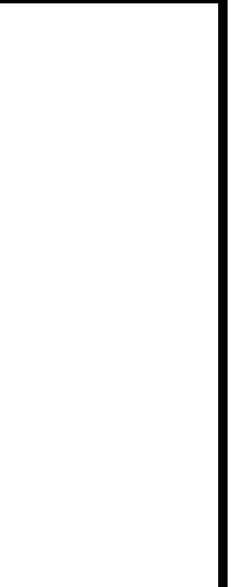


REAR

SCALE: 1/8" = 1'-0"

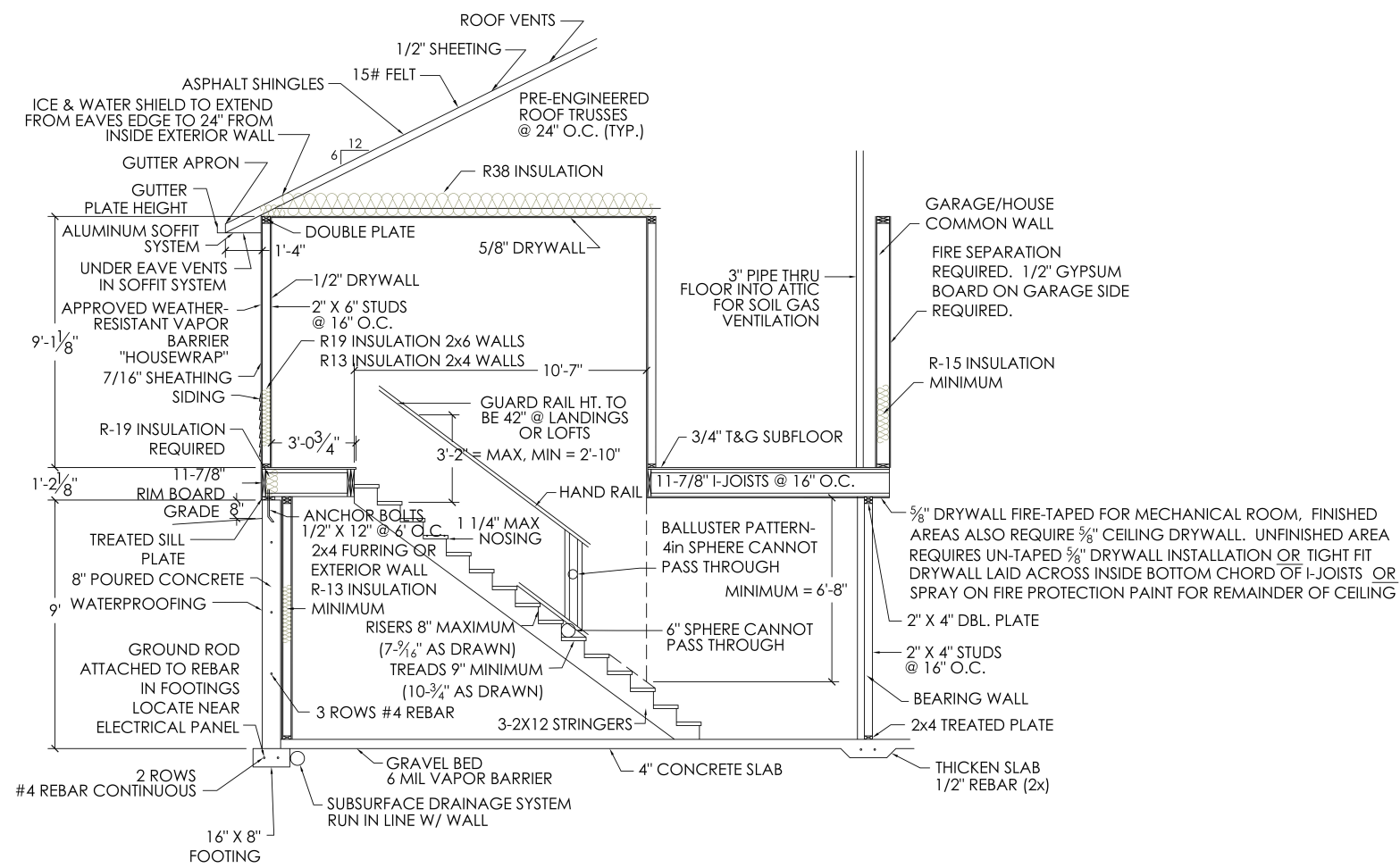
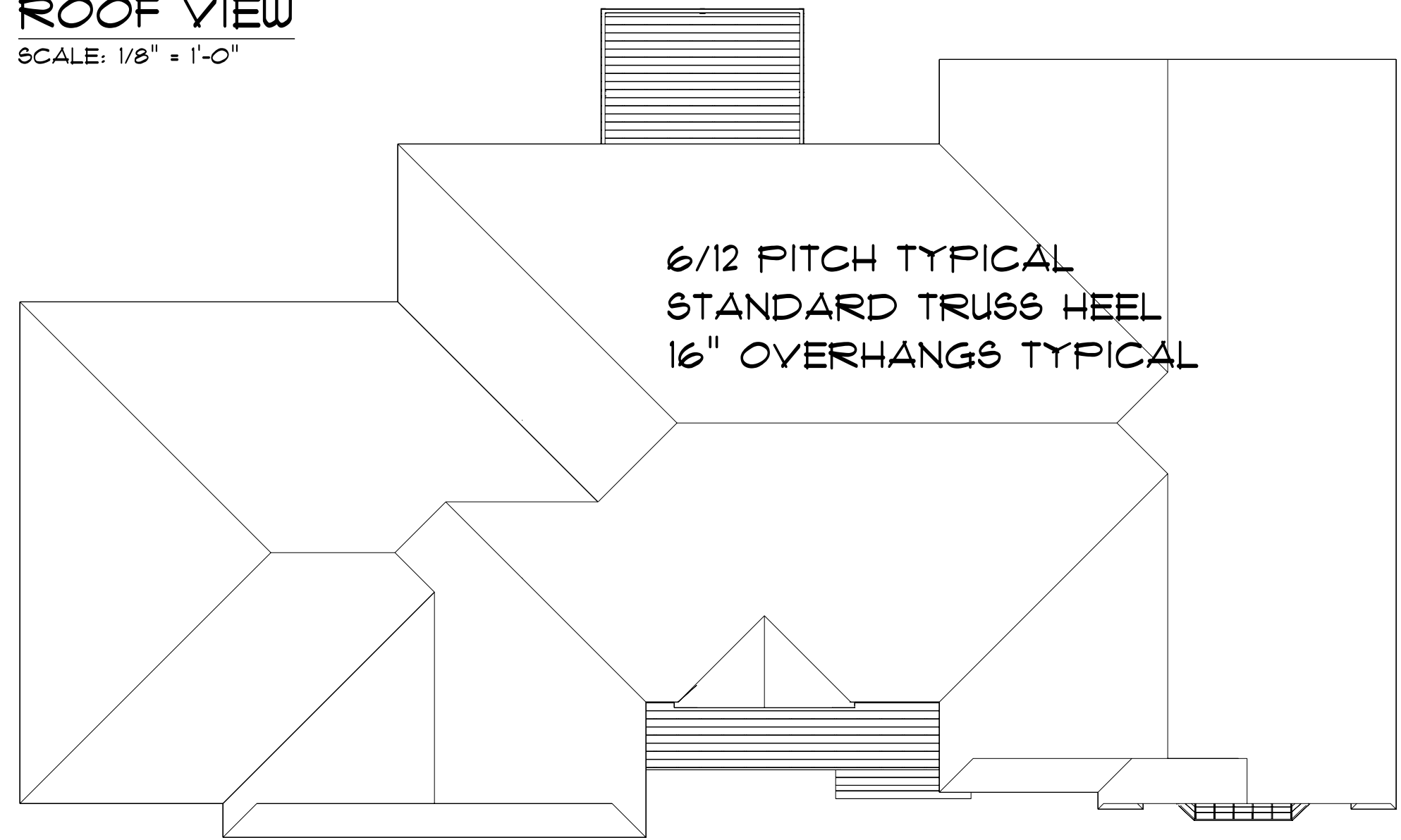


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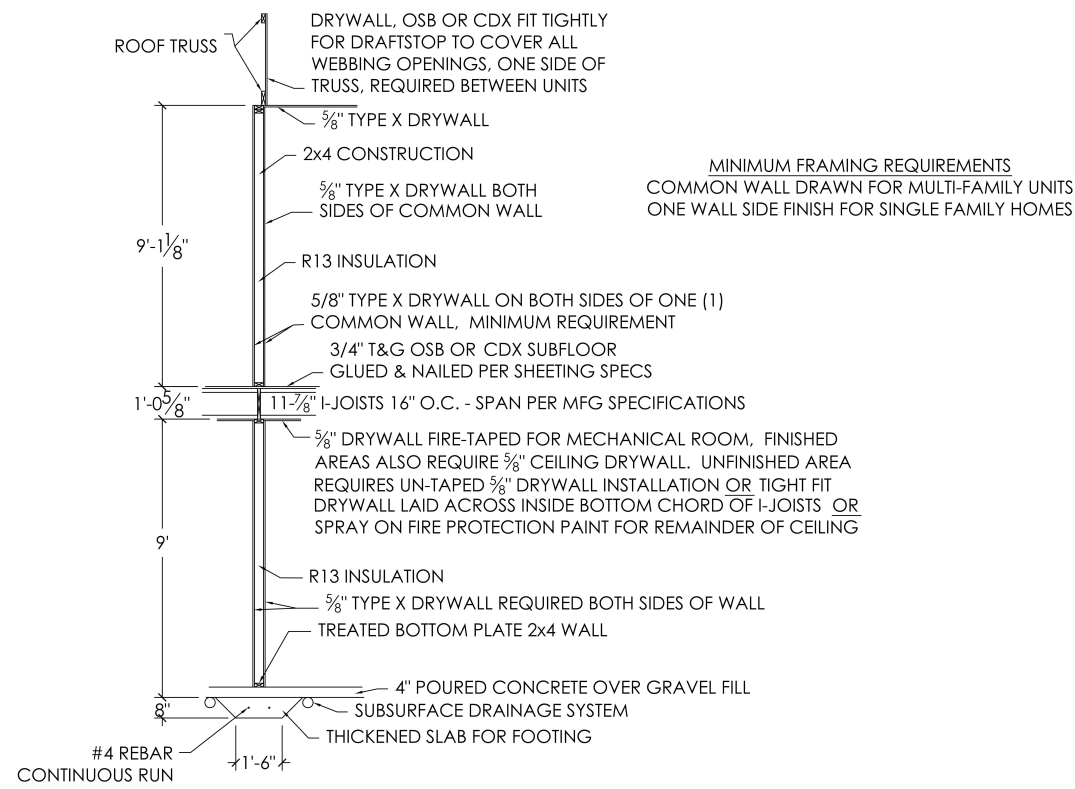


ROOF VIEW

SCALE: 1/8" = 1'-0"

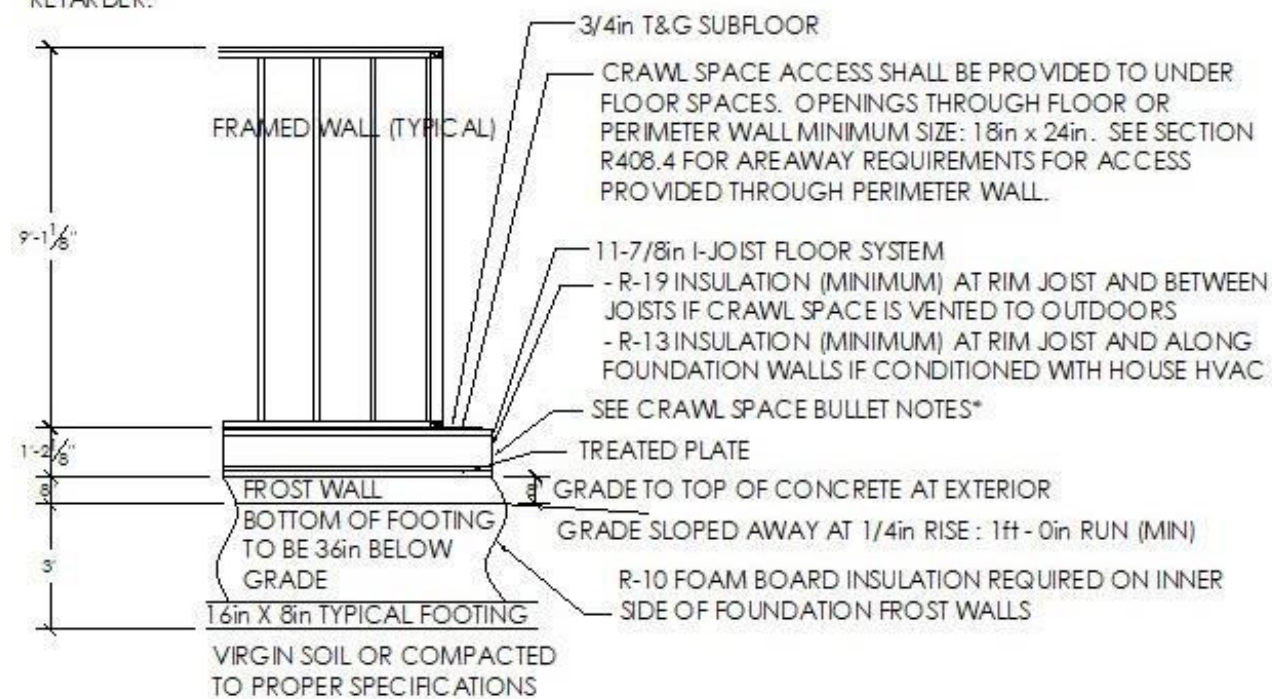


TYPICAL 9ft BSMT & 9ft MAIN WALL & STAIR SECTION



MINIMUM FRAMING REQUIREMENTS
COMMON WALL DRAWN FOR MULTI-FAMILY UNITS
ONE WALL SIDE FINISH FOR SINGLE FAMILY HOMES

- * CRAWL (UNDER FLOOR) SPACE VENTILATION
- IF CRAWL SPACE IS NOT CONDITIONED USING HVAC SYSTEM THEN VENTILATION REQUIRED TO EXTERIOR.
 - 1 sf (MIN) VENT AREA PER 150sf CRAWL FLOOR AREA
 - 1 sf (MIN) VENT AREA PER 1500sf CRAWL FLOOR AREA COVERED WITH CLASS 1 VAPOR RETARDER MATERIAL
 - ONE SUCH VENT SHALL BE WITHIN 3ft OF EACH CORNER OF THE BUILDING.
 - EXCEPTION: VENTS MAY BE 1/500 UNDER FLOOR AREA IF VENTS ARE INSTALLED TO PROVIDE AIR CROSSFLOW AND UNDER FLOOR AREA IS COVERED WITH CLASS 1 VAPOR RETARDER.



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2503 PATRIOT DRIVE PHONE: FAX:

SIDEWALK NO MORE THAN 1/4" : 1'-0" CROSS-SLOPE WHERE IT CROSSES THE DRIVEWAY

PATRIOT DRIVE

SIDEWALK

DRIVEWAY

25ft SETBACK

PROPOSED RESIDENCE

7ft SETBACK

25ft SETBACKS

Site Plan

SCALE: 1" = 10'-0"

2503 PATRIOT DRIVE
 LOT #5 BLOCK #2
 NORTHWEST FIFTH ADDITION
 LEXINGTON, NEBRASKA

S 02°31'22" W 45.480'

N 20°32'55" E 105.330' R=170.000'

21.000'
 21.000'
 21.000'

6.000'
 21.333'

23.000'
 40.000'

26.000'
 21.000'
 21.000'

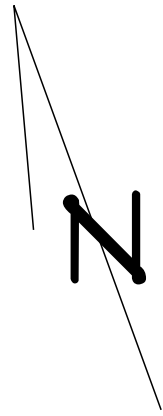
5.000'
 4.000'
 4.000'

5.000'
 22.000'
 23.000'

N 87°28'38" W 150.000'

N 48°04'48" W 168.930'

N 02°31'22" E 22.430'
 N 55°12" E 20.690'



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Site Plan

PATRIOT DRIVE

4' Sidewalk

6' Sidewalk

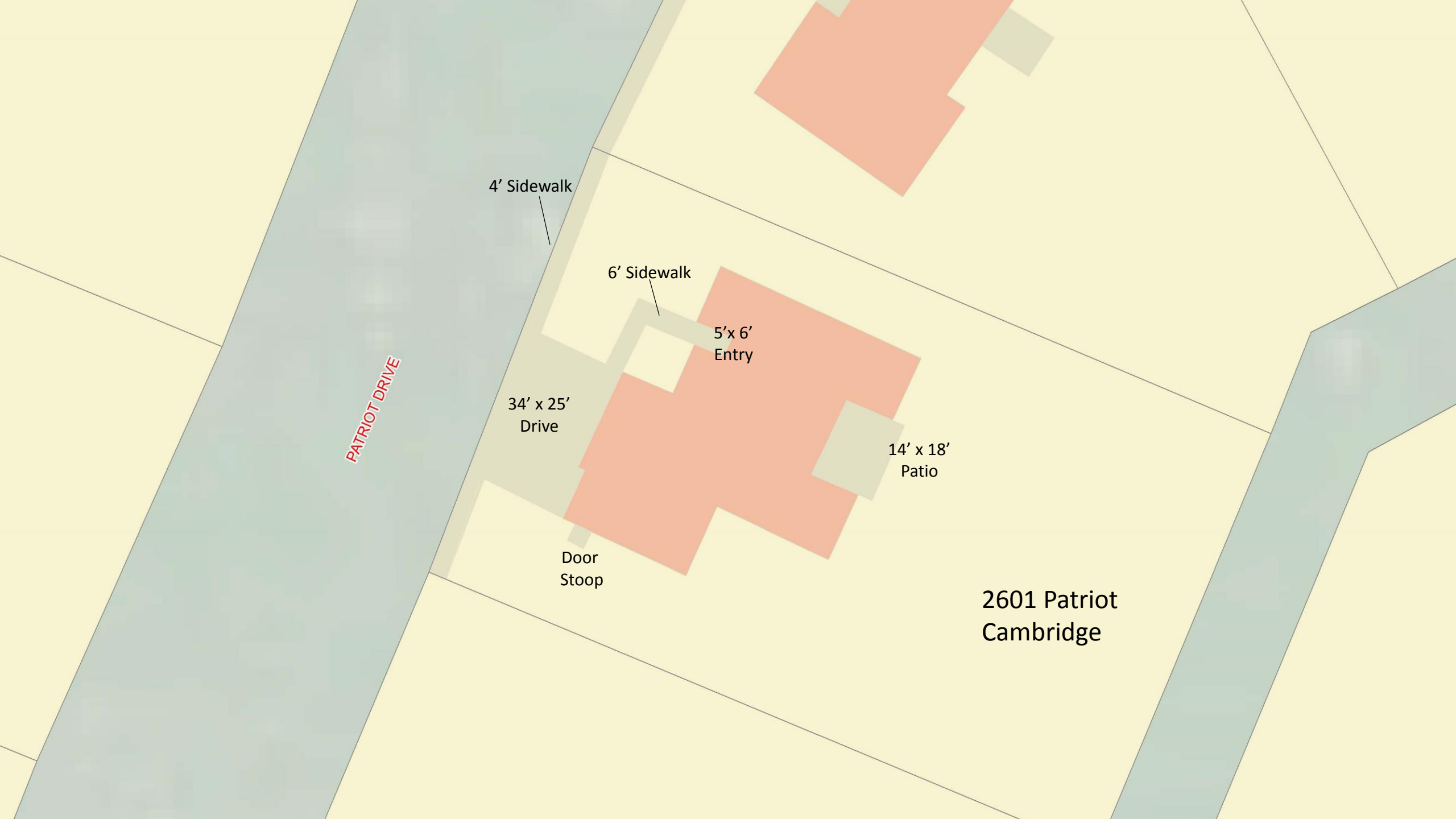
5' x 6'
Entry

34' x 25'
Drive

14' x 18'
Patio

Door
Stoop

2601 Patriot
Cambridge





Bill Brecks Construction
2601 Patriot Drive REV B PHONE:
FAX:

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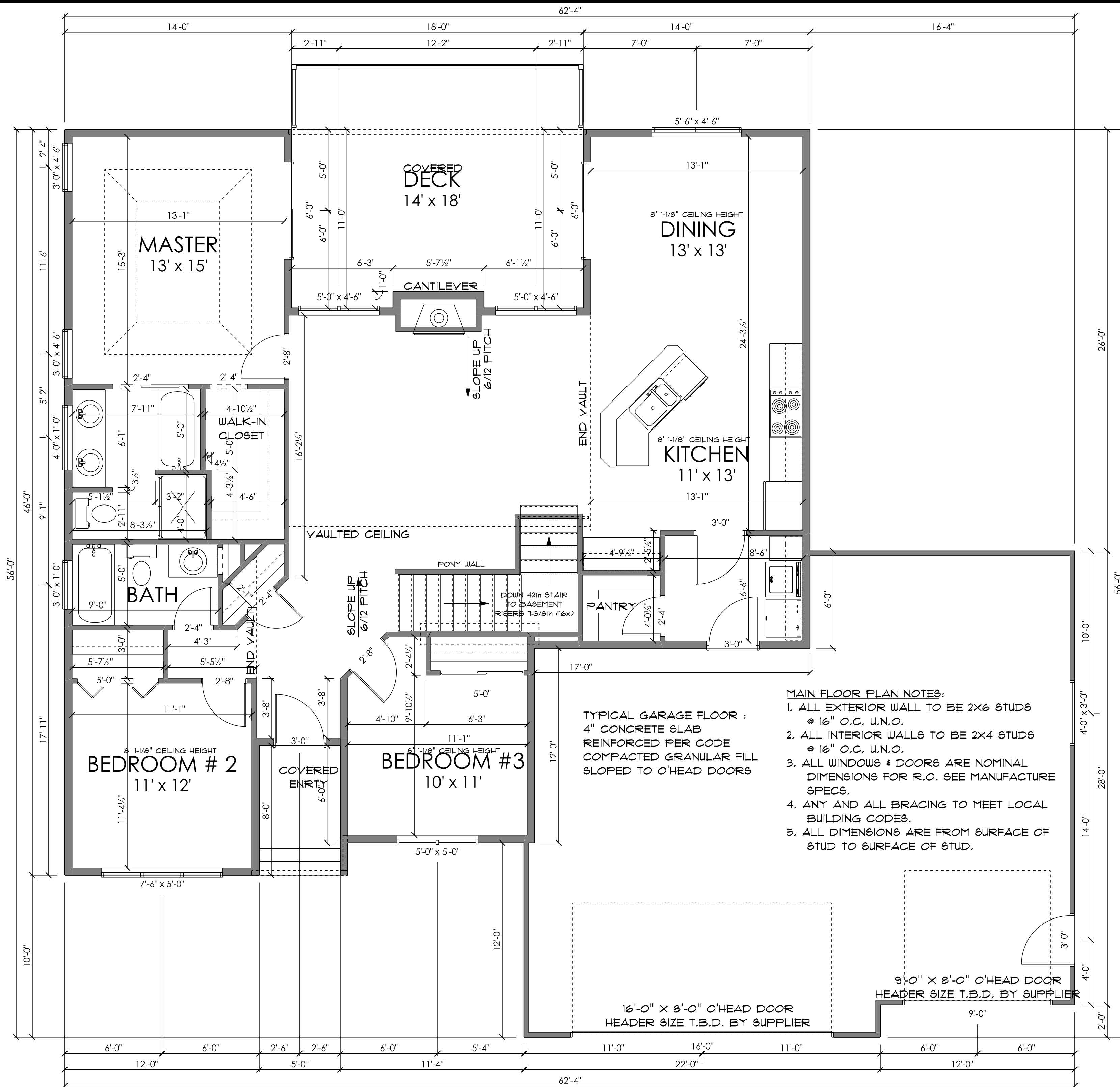
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Cover Page

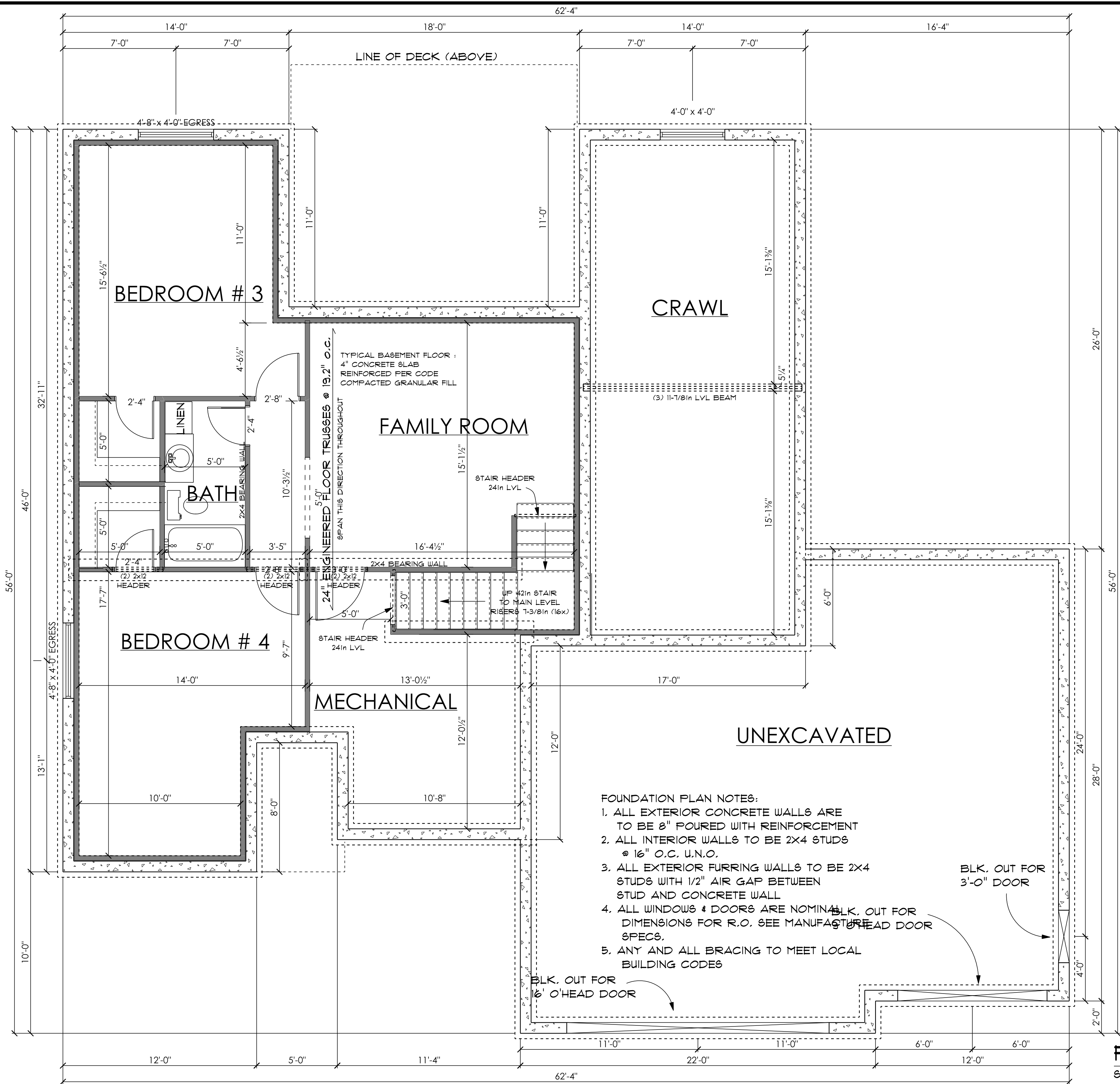


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 4. ANY AND ALL BRACING TO MEET LOCAL BUILDING CODES.
 5. ALL DIMENSIONS ARE FROM SURFACE OF STUD TO SURFACE OF STUD.

TYPICAL GARAGE FLOOR :
4" CONCRETE SLAB
REINFORCED PER CODE
COMPACTED GRANULAR FILL
SLOPED TO O'HEAD DOORS

Main Floor
SCALE: 1/4" = 1'-0"

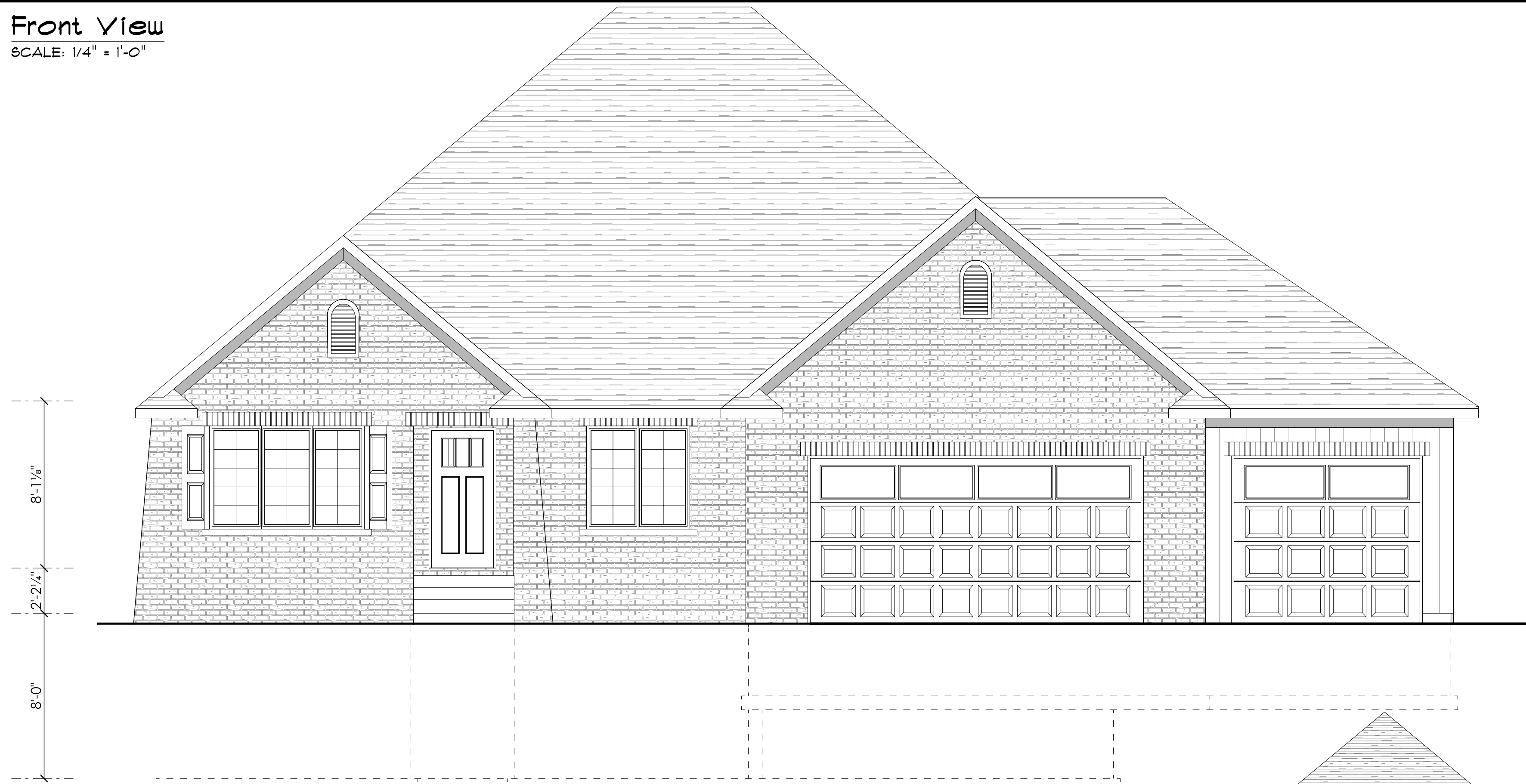
<p>Bill Brecks Construction 2601 Patriot Drive REV B PHONE: FAX:</p>		<p>Mead Lumber 1440 W. 56th STREET KEARNEY, NEBRASKA PHONE: 308-236-9177 FAX: 308-236-9178</p>		<p>PAGE: 2 Main Level</p>
<p>SCALE: 1/4" = 1'-0"</p>		<p>DRAWN BY: Paul Christensen</p>		<p>DATE: Wednesday, June 24, 2020</p>



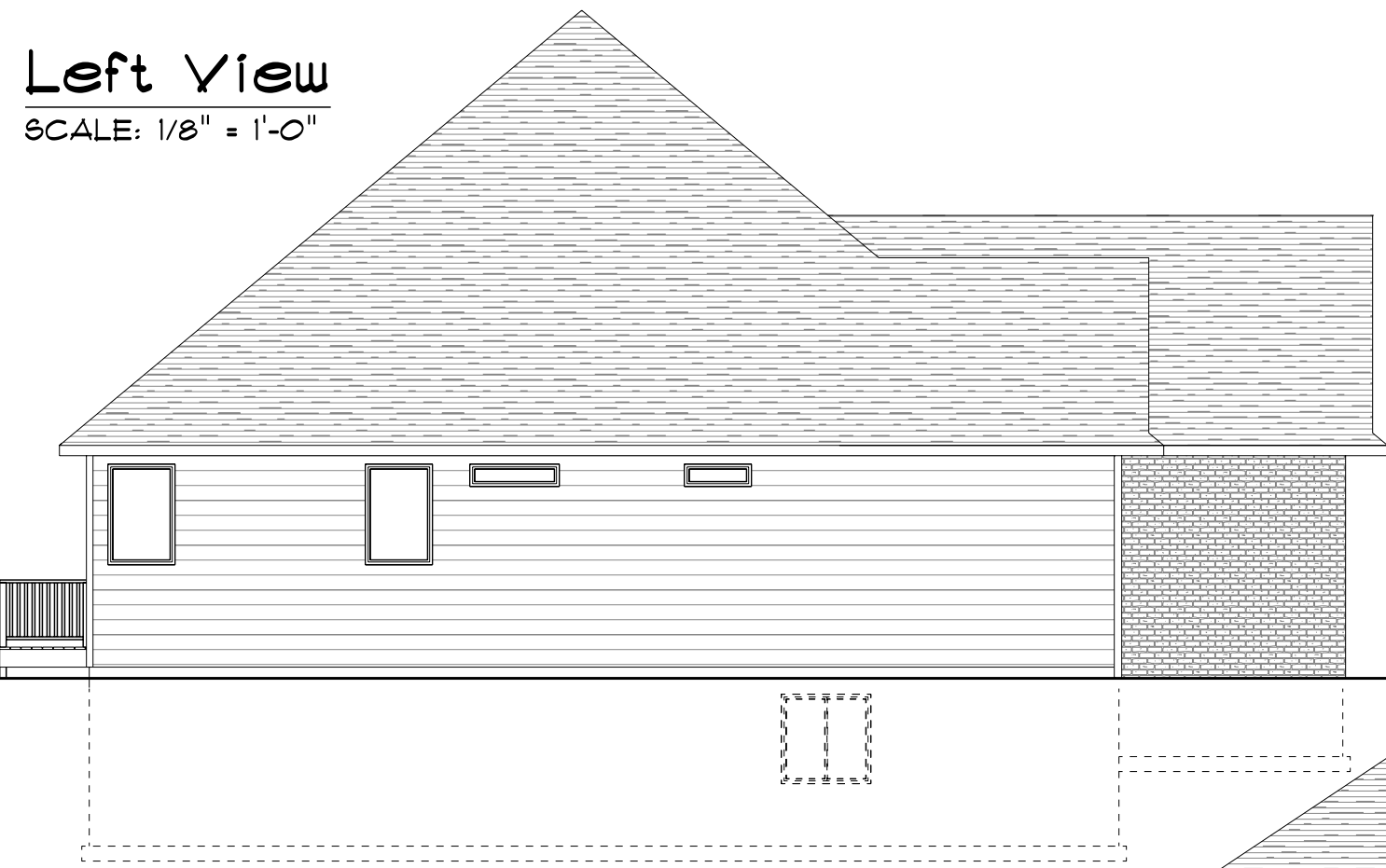
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Foundation
SCALE: 1/4" = 1'-0"

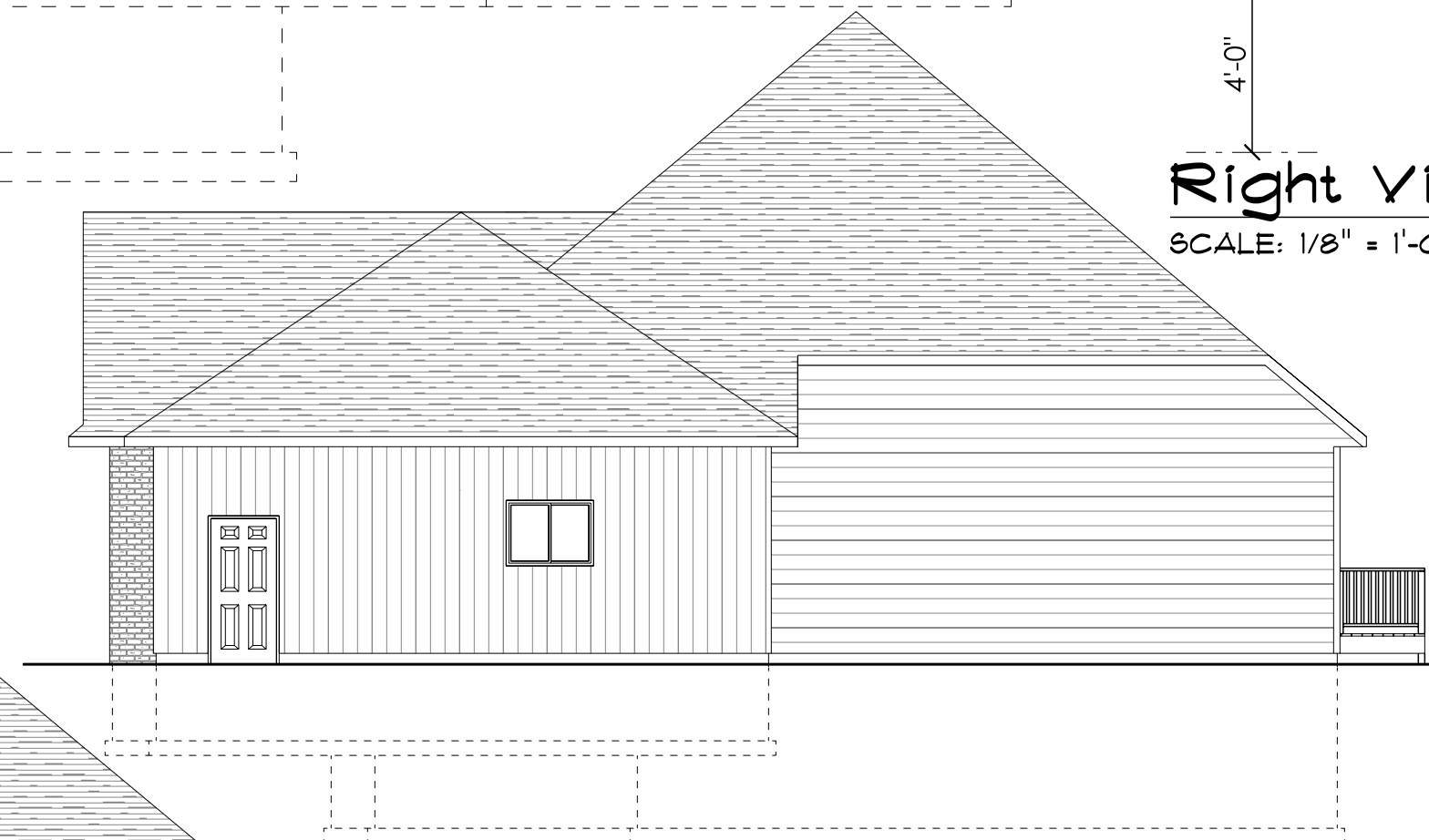
Front View
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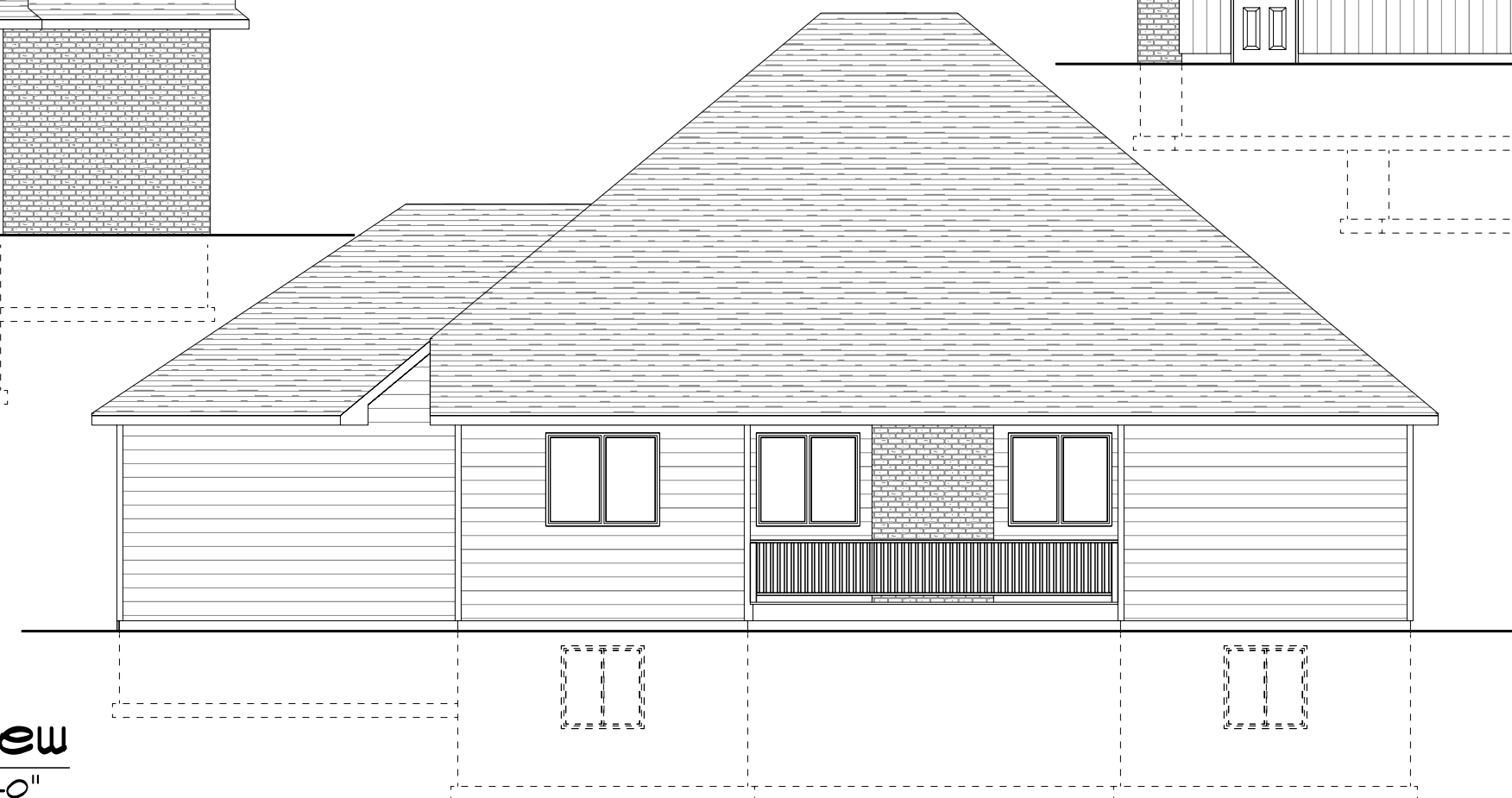
Left View
SCALE: 1/8" = 1'-0"



Right View
SCALE: 1/8" = 1'-0"

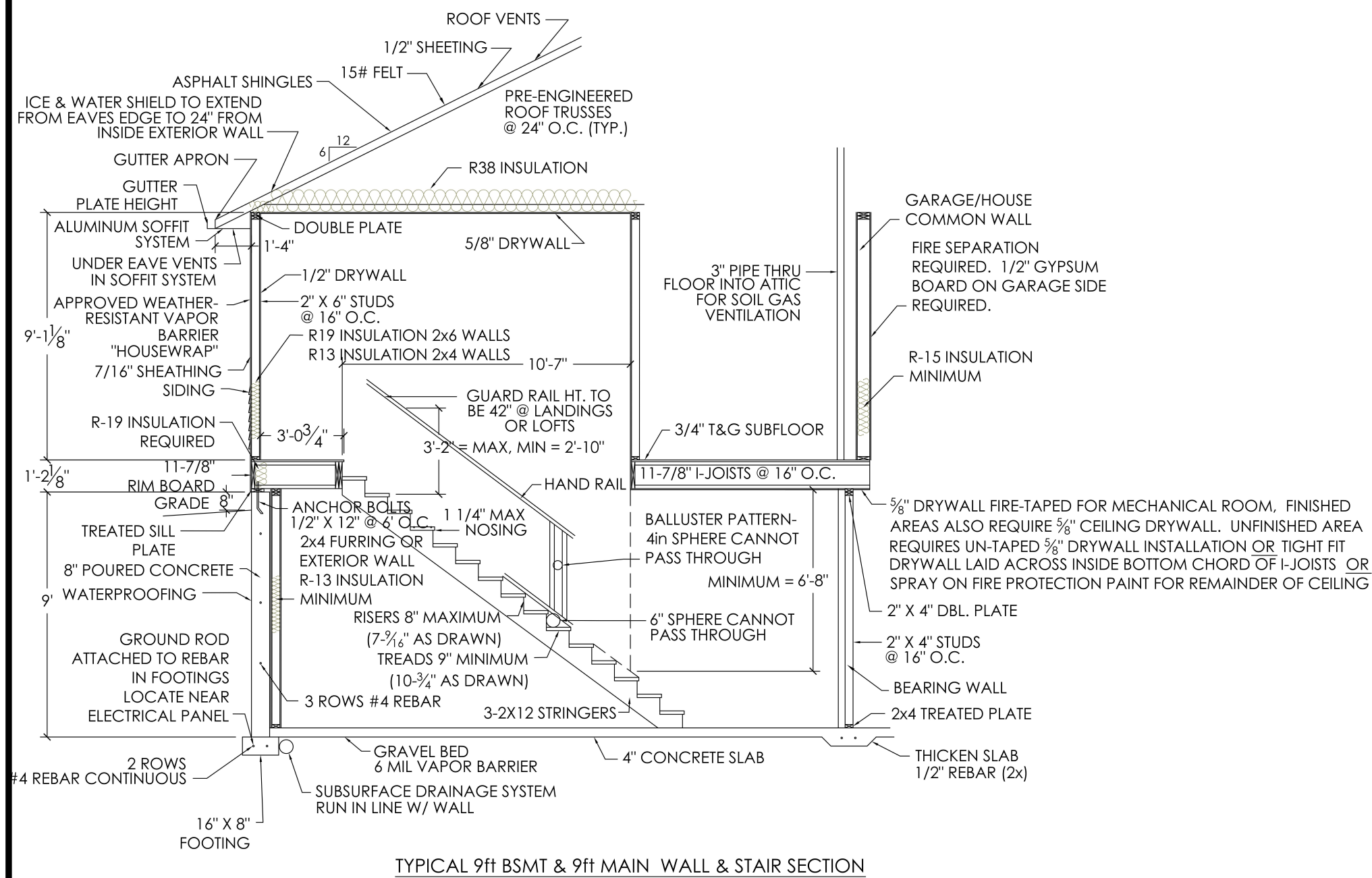


Rear View
SCALE: 1/8" = 1'-0"

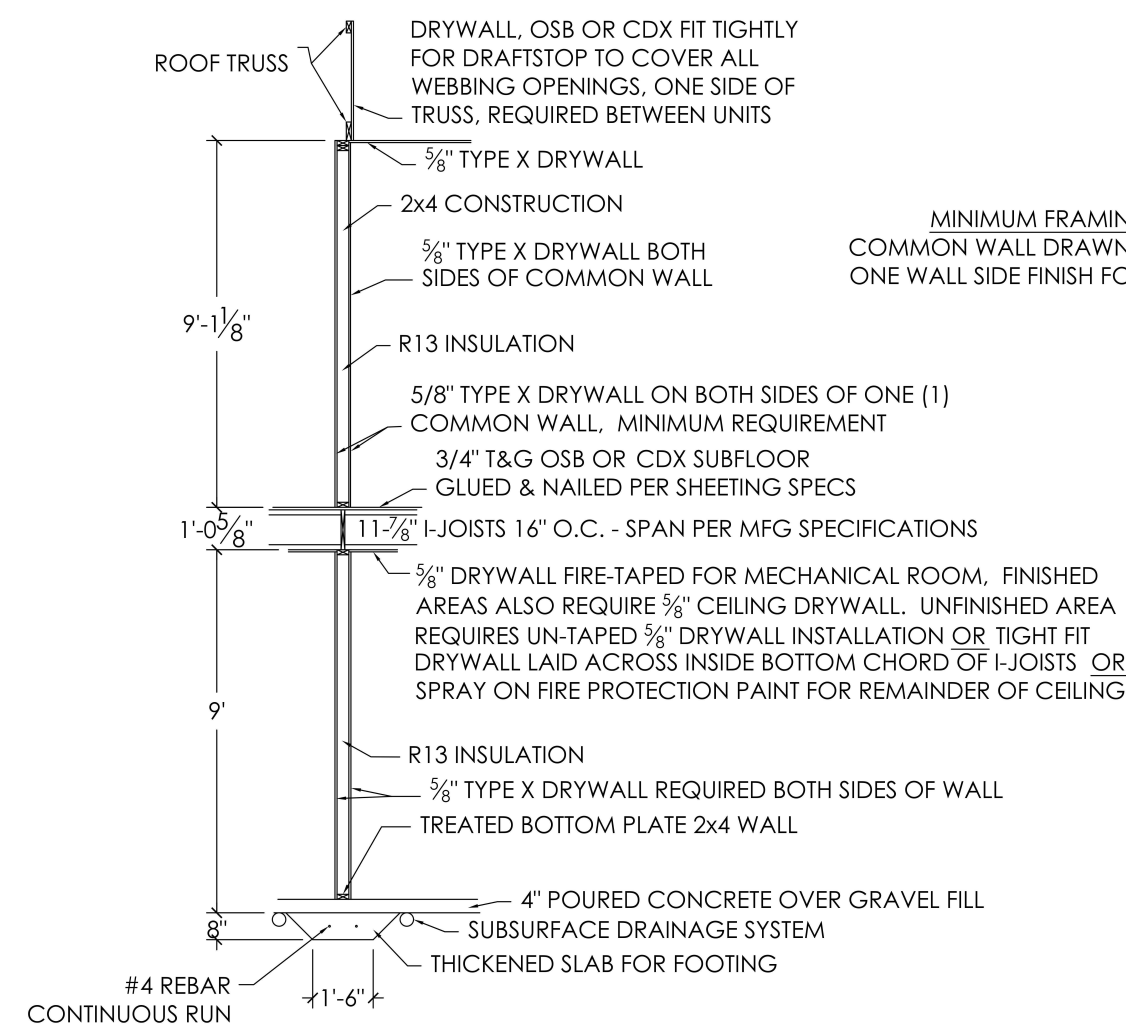


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PLAN NOTES SUPERCEDE DETAILS--

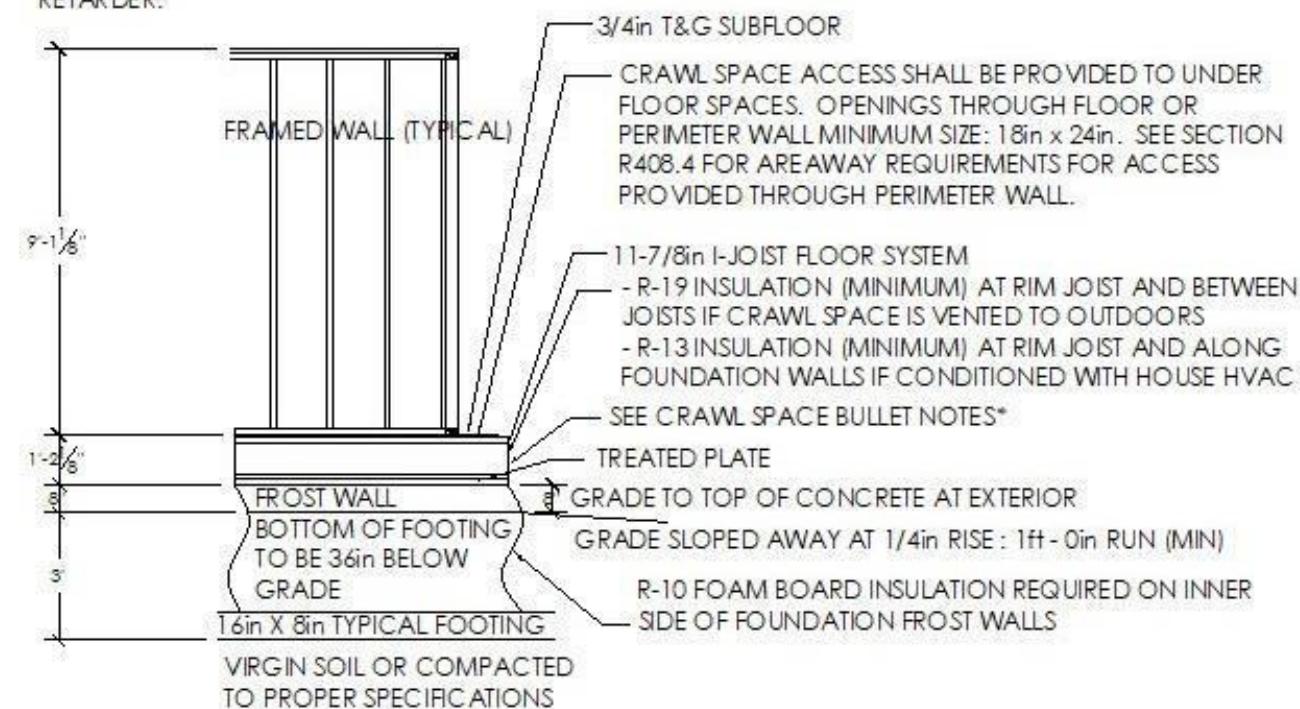


TYPICAL 9ft BSMT & 9ft MAIN WALL & STAIR SECTION



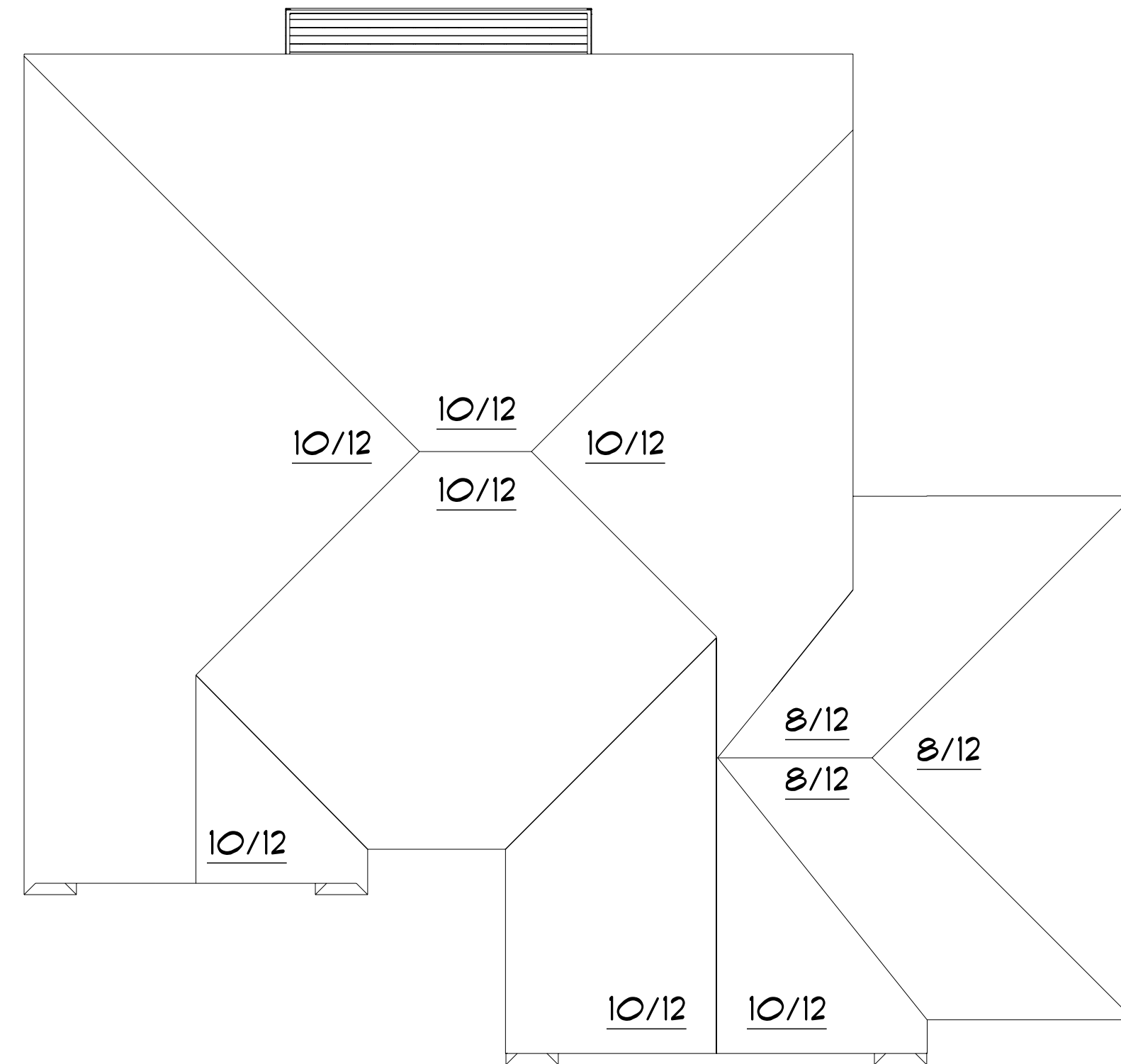
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Roof View

SCALE: 1/8" = 1'-0"



QUICK FACTS:

1. 2x6x8ft INSULATED EXTERIOR MAIN LEVEL LIVING SPACE WALLS.
2. 2x4x9ft INSULATED BASEMENT FURRING WALLS.
3. 2x4x~9ft INSULATED EXTERIOR GARAGE WALLS.
4. ROOF SLOPES AS NOTED IN VIEW ABOVE.
5. DIMENSIONS EDGE TO EDGE OF FRAMING.

PAGE: **5** Roof & Details

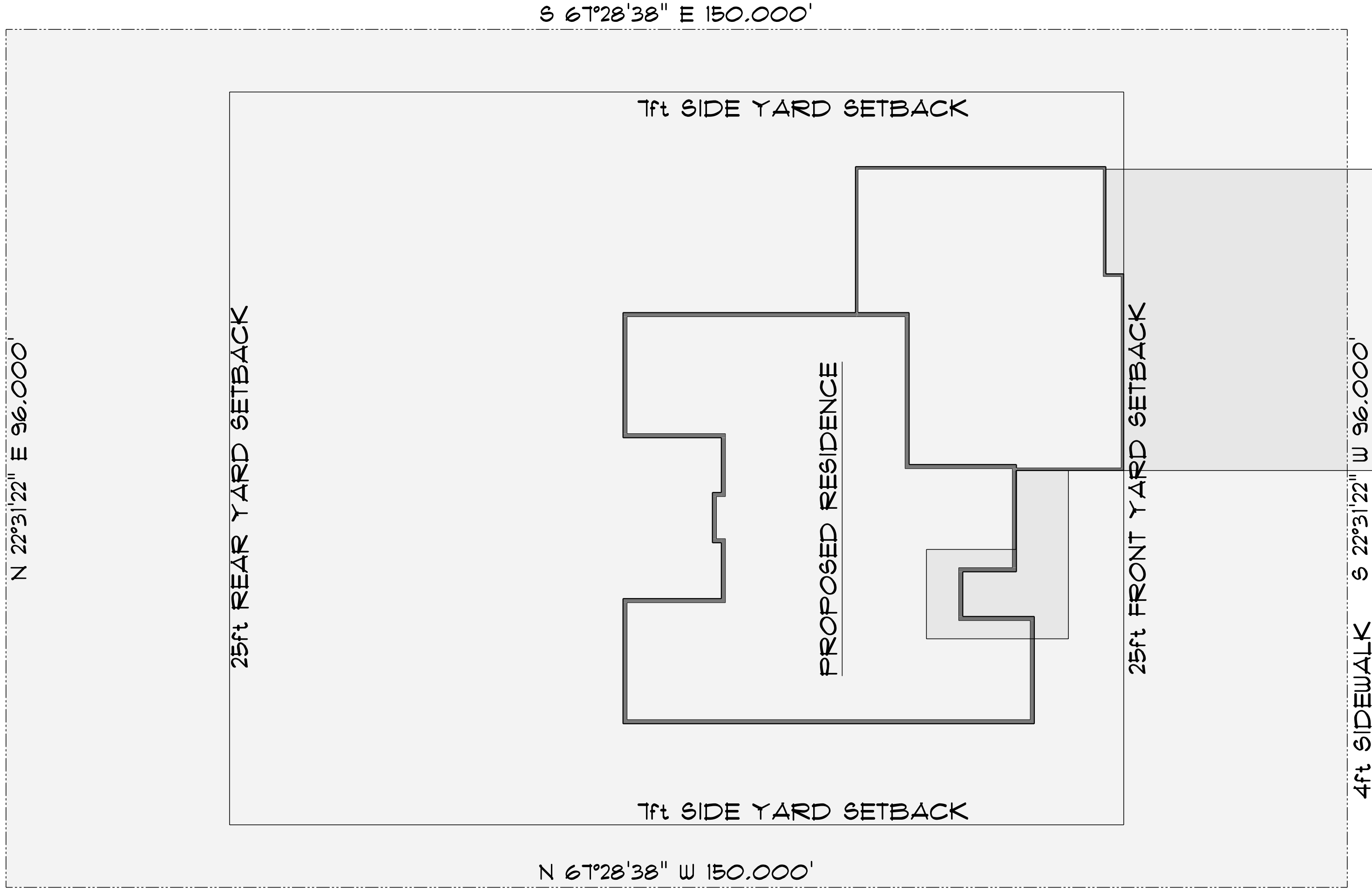
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 2601 Patriot Drive REV B PHONE: FAX:



SIDEWALK NO MORE THAN 1/4":1'-0"
 CROSS SLOPE WHERE IT CROSSES
 DRIVEWAY.

PATRIOT DRIVE



Site Plan

SCALE: 1" = 10'-0"

2601 PATRIOT DRIVE
 LOT #6 BLOCK #2
 NORTHWEST FIFTH SUBDIVISION
 LEXINGTON, NEBRASKA

Bill Brecks Construction

2601 Patriot Drive REV B PHONE:
 FAX:

Mead Lumber

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